

DATE OF MEETING | December 21, 2020 |

AUTHORED BY | LISA BRINKMAN, PLANNER, CURRENT PLANNING |

**SUBJECT | DEVELOPMENT PERMIT APPLICATION NO. DP1192 –  
4851 CEDAR RIDGE PLACE |**

## **OVERVIEW**

### **Purpose of Report**

To present for Council’s consideration, a development permit application for a mixed-use development with 98 multi-family residential units and commercial space at 4851 Cedar Ridge Place.

### **Recommendation**

That Council issue Development Permit No. DP1192 at 4851 Cedar Ridge Place with the following variances:

- reduce the minimum required rear yard setback from 7.5m to 5.66m;
- reduce the minimum required building front face in the front yard setback from 50% to 32% of the property frontage;
- increase the maximum permitted building height from 18m to 20.65m; and
- reduce the minimum required setback for the refuse enclosure from 3m to 0.3m.

## **BACKGROUND**

A development permit application, DP1192, was received from Raymond deBeeld Architect Inc., on behalf of Cedar Ridge Holdings Ltd., for a mixed-use development consisting of a residential building with 98 rental units and a commercial building, to be located at 4851 Cedar Ridge Place.

### **Subject Property And Site Context:**

<i>Zoning</i>	Mixed Use Corridor (COR2)
<i>Location</i>	The subject property is located on the southeast corner of Rutherford Road and Cedar Ridge Place.
<i>Total Area</i>	0.7ha
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plan – Urban Corridor Map 3 – Development Permit Area No. 9 - Commercial, Industrial, Institutional, Multiple Family and Mixed Commercial/Residential development; and Development Permit Area No. 5 – Steep Slope Development (DPA5)
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines Steep Slope Development Permit Area Guidelines

The subject property is a sloping site that is currently vacant and is bound by Rutherford Road, Cedar Ridge Place, and Lakeview Road (a multi-use corridor along Long Lake). The

surrounding neighbourhood includes North Nanaimo Town Centre to the west, the Grand Hotel to the north, Nanaimo Memory & Complex Care to the southwest, and an unconstructed multi-family development (approved by Council in 2019) to the east at 4800 Cedar Ridge Place. The subject property is within 60m of Long Lake and is within walking distance of a number of public amenities, commercial services, and transit service. ]

## **DISCUSSION**

### **Proposed Development**

The applicant is proposing a building with 98 rental units, with four storeys of residential use and two levels of under-the-building parking built into the slope of the land. Also, a two-storey commercial building with a gross floor area of 367m<sup>2</sup> is proposed to be located at the corner of Rutherford Road and Cedar Ridge Place. The subject property is designated Urban Corridor in the Official Community Plan, which supports a mix of uses and a density of 50-150 units per hectare; this development proposes a density of 132 units per hectare. The subject property is zoned COR2, which permits a base FAR of 1.25 and a FAR of 1.13 is proposed.

Units of the following type and size are proposed:

<i>Unit Type</i>	<i>Number of Units</i>	<i>Unit Sizes</i>
One bedroom	50	51m <sup>2</sup> – 58m <sup>2</sup>
Two bedroom	48	84m <sup>2</sup> - 99m <sup>2</sup>
<i>Total</i>	98 units	

### *Site Design*

The commercial building is sited to front onto Rutherford Road to create an active street frontage, with pedestrian connections to the public sidewalk. The residential building is sited on the southwest side of the property, with two levels of under-the-building parking built into the slope of the land. The property is accessed by two driveways from Cedar Ridge Place, and surface parking is provided on a level area adjacent to the residential building. The property will be graded such that the two levels of the under-the-building parking will each have a separate vehicle entrance on opposite ends of the building.

The development complies with the Steep Slope Guidelines by:

- retaining a significant rock feature in the northwestern corner of the property;
- incorporating stepped retaining walls that will be landscaped within the terraces;
- replacing trees in a manner to restore the natural forested character of the property; and
- creating a private pedestrian path along the southeastern property line to connect Cedar Ridge Place to the Lakeview public multi-use path.

### *Building Design*

The residential building is contemporary in design and is well articulated. The length of building is separated into two sections by a recessed column for the elevator and common lobby areas. The upper level corner units at the ends of the building are recessed to further reduce the

building mass and to allow for outdoor corner patios. Building articulation is also achieved with vertical columns of decks set back from the building face that allows for covered, private outdoor space for the residential units. A common amenity room with a generous outdoor patio is proposed in the corner unit on the fourth floor. The development contains the required parking spaces. The under-building garage contains vehicle parking spaces, indoor storage for 50 bicycles, 16 electric vehicle charging spaces, 32 rough-in electric vehicle charging spaces, 6 scooter spaces, and space for kayak storage.

The commercial building is also built into the slope of the land with two storeys facing Rutherford Road and one storey visible from the onsite parking area. Access to the building is provided at both the front and rear elevation of the building. The exterior façade materials are proposed to be fiber cement panel with cedar accents. Tenants have not yet been secured for the building, and the space can be adapted for future tenants.

### *Landscape Design*

The existing large rock outcrop in the northwest corner of the property will be retained as a landscape feature, and dense groupings of conifer trees will be planted. Also, vines will be planted to create a green wall on the parkade wall facing Rutherford Road. The combination of these features will allow for an attractive Rutherford Road street frontage in the northwest corner.

At the corner of Rutherford Road and Cedar Ridge Place, the landscape plan proposes pedestrian connections to the public sidewalk, and deciduous trees and large boulders as seating and sculptural elements. Coniferous and deciduous trees will be planted along the north property line. A retaining wall will be located along a portion of Cedar Ridge Place to allow for onsite parallel parking spaces. Along the front of the residential building is a pedestrian path, benches, a bioswale, indigenous plants, as well as coniferous, evergreen, and deciduous plants. Lighting is provided at all building entrances, by the refuse enclosure, and at key locations along pedestrian routes.

Tree retention and the planting of indigenous trees is proposed along the southeast property line to maintain a private forested (north-south) pedestrian path connection to the Lakeview public multi-use corridor. Along the southwest property line, climbing and cascading plants will green the retaining walls, and a bioswale and plants will be installed within the terraced retaining wall areas. The refuse enclosure will be located in the eastern corner of the property and will be screened by landscaping and a large rock outcrop on the adjacent parcel.

The site, building, and landscape design complies with the General Development Permit Area Design Guidelines and the Steep Slope Development Permit Area Guidelines.

### **Design Advisory Panel**

The Design Advisory Panel (DAP), at its meeting held on 2020-JUL-09, accepted DP1192 as presented and provided the following recommendations:

- Consider ways to de-emphasize the centre section between the two buildings, to reduce overall massing and create the appearance of two buildings.
- Consider an improved CRU building design, such that it is either a contrasting design to the residential building, or that architectural cues are taken from the residential building.

- Consider enhancing the main entrance walkway design to improve the overall experience (i.e., paving, landscaping, and building entrance design).

The applicant responded to the DAP recommendations by:

- Setting back the centre section of the residential building and simplifying the windows in this section to break the length of the building such that it appears as two buildings.
- The main entrance of the residential building was enhanced with improved canopy design and materials, scored concrete, landscaping, and outdoor furniture.
- The commercial building design was revised to better match the design of the residential building.

## **Proposed Variances**

### *Rear Yard Setback*

The minimum rear yard setback is 7.5m, the proposed rear yard setback for the residential building is 5.66m; a proposed variance of 1.84m.

The residential building has been set back 7m from the Rutherford Road property line to allow for the retention of the rock outcrop and generous plantings to screen the parkade walls, and this results in the building being sited closer to the rear property line. No negative impact is anticipated because the building is well separated from the adjacent development (under construction) and will be screened with retained and planted trees in the rear yard setback area.

### *Building Front Face Requirement*

When there is more than one principal building in the Corridor Zone, it is required that 50% of the property frontage include a building front face in the front yard setback area. The length of the commercial building facing Rutherford Road is 16.5m, thus is 32% of the property frontage; a proposed variance of 18%.

Due to the slope of the subject property, it is challenging to create an active street frontage along Rutherford Road. The commercial building in the northeast corner of the property provides generous glazing and storefront entrances facing Rutherford Road and includes a plaza area and two sets of wide steps to the Rutherford Road sidewalk to create an active street frontage on the northern portion of the property frontage.

### *Building Height*

The maximum allowable building height is 18m, the proposed building height of the residential building is 20.5m; a proposed variance of 2.5m.

The subject property is designated as Urban Corridor in the Official Community Plan and this designation contains policy to support buildings with a height of two to six stories. The proposed residential building is six stories facing Rutherford Road and the Lakeview Public multi-use corridor, and four stories facing Cedar Ridge Place. The height variance is proposed to accommodate the steep slope of the site, and the slope of the ramps into the parkade have determined the finished grade for the property. Also, the proposed finished grade will minimize the need for rock blasting on the site. The height and massing of the residential building has

been softened by creating a vertical recessed area in the centre of the building, by setting back sections of the upper floor to allow for generous patios, and by creating recessed vertical columns for the decks for each unit.

#### *Refuse Enclosure Setback*

The minimum setback for the refuse enclosure is 3m, the proposed setback is 0.3m; a proposed variance of 2.7m.

The refuse enclosure is proposed to be sited in the northeast corner of the property and will be screened on three sides with vegetation. Also, a large rocky outcrop is located beside the garbage enclosure on the adjacent property so it will not be visible from the adjacent property, thus no negative impact is anticipated.

Staff support the proposed variances.

#### **SUMMARY POINTS**

- Development Permit Application No. DP1192 is for a mixed-use development with a 98-unit residential building and a commercial building.
- Variances are requested for the height and rear setback for the residential building, for the building front face requirement in the front yard area, and a setback variance is proposed for the refuse enclosure.
- The proposed development addresses the City's design guidelines and Staff support the proposed variances.

#### **ATTACHMENTS**

ATTACHMENT A: Permit Terms and Conditions  
ATTACHMENT B: Context Map  
ATTACHMENT C: Location Plan  
ATTACHMENT D: Site and Parking Plans  
ATTACHMENT E: Building Elevations and Details  
ATTACHMENT F: Building Renderings  
ATTACHMENT G: Landscape Plan and Details  
ATTACHMENT H: Aerial Photo

#### **Submitted by:**

Lainya Rowett  
Manager, Current Planning

#### **Concurrence by:**

Jeremy Holm  
Director, Development Approvals

Dale Lindsay  
General Manager, Development Services

# ATTACHMENT A

## PERMIT TERMS AND CONDITIONS

### TERMS OF PERMIT

The “City of Nanaimo Zoning Bylaw 2011 No. 4500” is varied as follows:

1. *Section 9.5.1 Siting of Buildings* – to reduce the minimum required rear yard setback from 7.5m to 5.66m.
2. *Section 9.5.5 Siting of Buildings* – to reduce the minimum building front face requirement, within the front yard setback area, from 50% to 32% of the property frontage.
3. *Section 9.7.1 Size of Buildings* – to increase the maximum allowable building height from 18m to 20.65m.
4. *Section 17.3.4 Refuse Receptacles* – to reduce the minimum required setback for the refuse enclosure from 3m to 0.3m.

### CONDITIONS OF PERMIT

1. The subject property is developed generally in accordance with the Site and Parking Plans prepared by Raymond deBeeld Architect Inc., dated 2020-OCT-19, as shown on Attachment D.
2. The development is in substantial compliance with the Building Elevations and Details prepared by Raymond deBeeld Architect Inc., dated 2020-OCT-19, as shown on Attachment E.
3. The subject property is developed in substantial compliance with the Landscape Plan and Details prepared by Victoria Drakeford Landscape Architect, dated 2020-OCT-19, as shown on Attachment G.

# ATTACHMENT B CONTEXT MAP



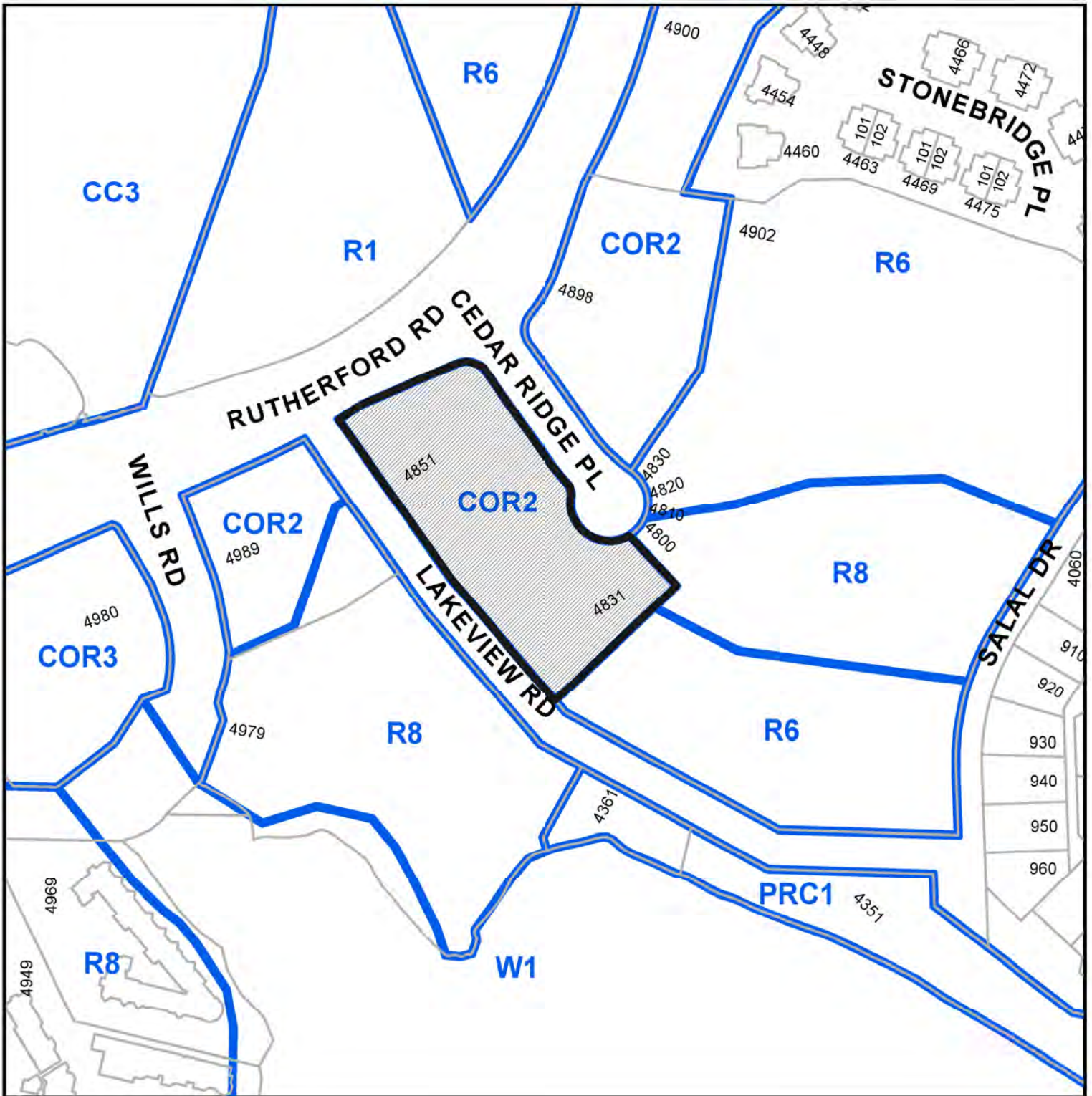
DEVELOPMENT PERMIT APPLICATION NO. DP001192

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4851 CEDAR RIDGE PLACE

ATTACHMENT C  
LOCATION PLAN



**DEVELOPMENT PERMIT NO. DP001192**

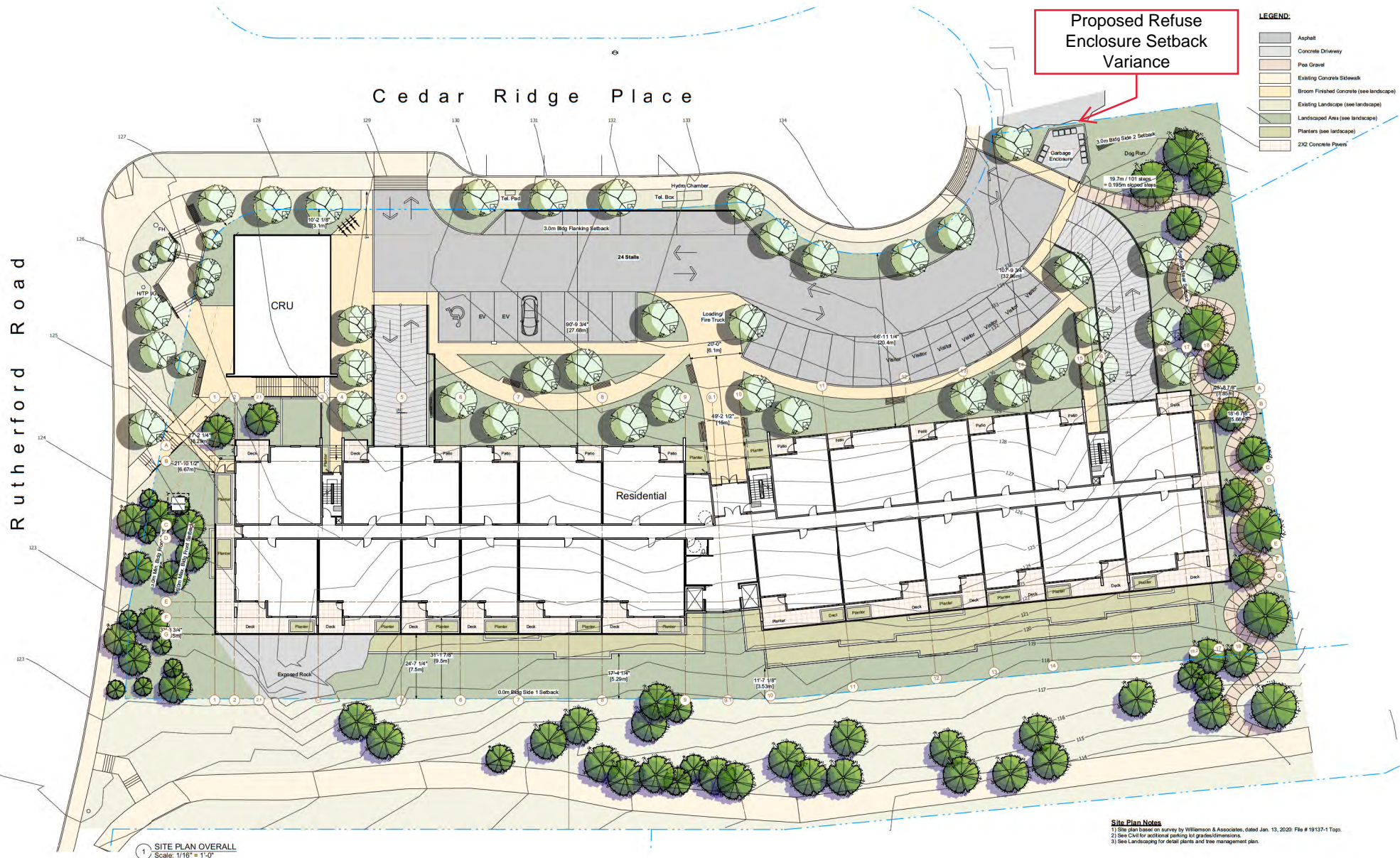
CIVIC: 4851 CEDAR RIDGE PLACE

 **Subject Property**

LEGAL: LOT 2, DISTRICT LOT 17, WELLINGTON DISTRICT, PLAN VIP64055



# ATTACHMENT D SITE AND PARKING PLANS



**LEGEND:**

- Asphalt
- Concrete Driveway
- Pea Gravel
- Existing Concrete Sidewalk
- Broom Finished Concrete (see landscape)
- Existing Landscape (see landscape)
- Landscaped Area (see landscape)
- Planters (see landscape)
- 2X2 Concrete Pavers

1 SITE PLAN OVERALL  
Scale: 1/16" = 1'-0"

**Site Plan Notes**  
 1) Site plan based on survey by Williamson & Associates, dated Jan. 13, 2020; File # 19137-1-Top.  
 2) See Civil for additional parking lot grade/elevations.  
 3) See Landscape for detail plans and tree management plan.

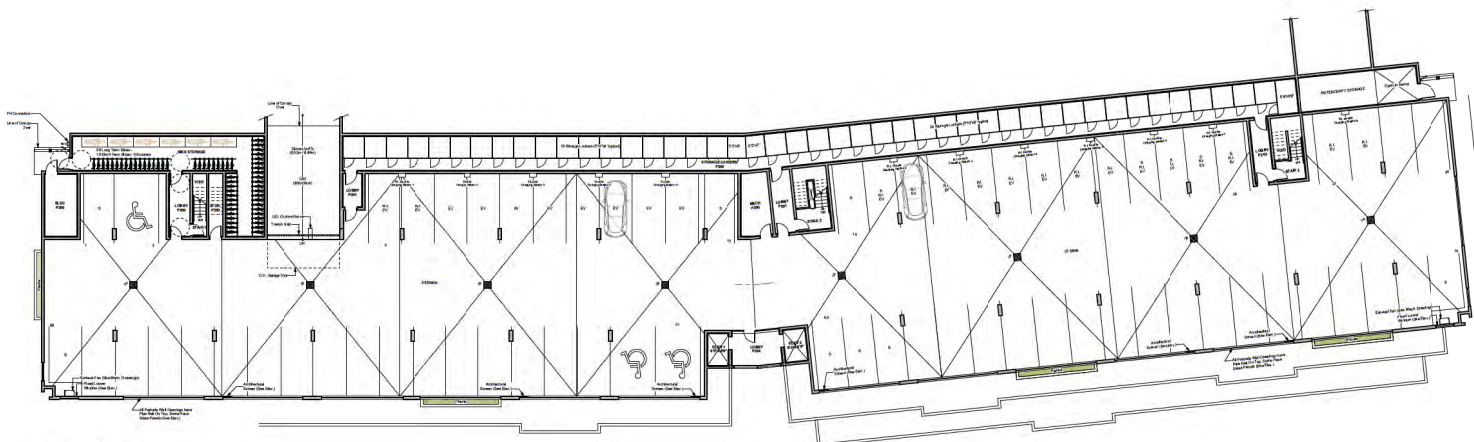


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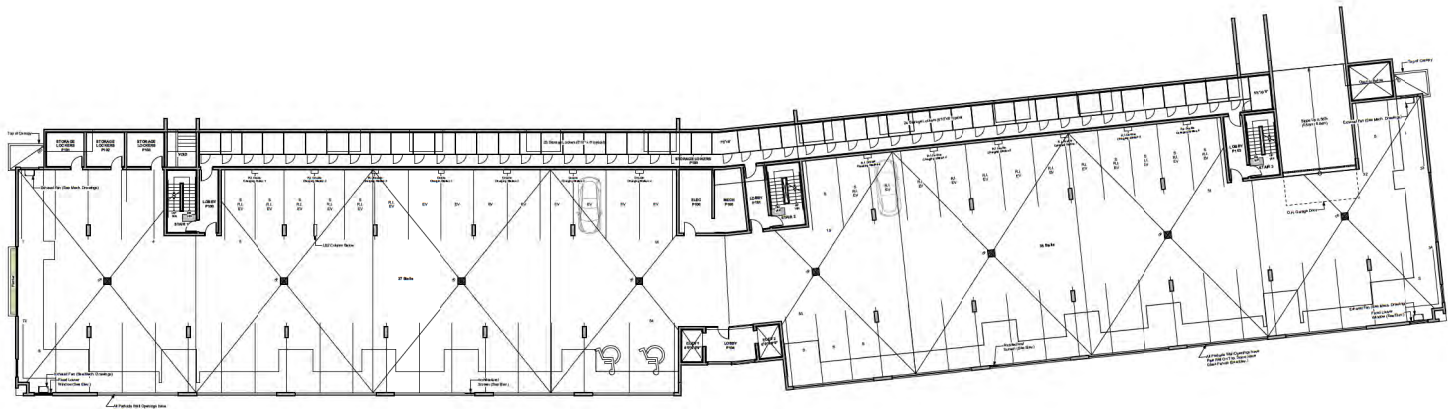
Rev. 02 - Oct. 19, 2020



**A1.0**



1 FLOOR PLAN LB2  
Scale: 1/16" = 1'-0"



2 FLOOR PLAN LB1  
Scale: 1/16" = 1'-0"



# ATTACHMENT E BUILDING ELEVATIONS AND DETAILS



1 NORTH EAST ELEVATION - PART a  
Scale: 1/8" = 1'-0"

ELEVATION NOTE:  
1.] C.O.D. SHOWN  
2.] ELEVATIONS DRAWN PERPENDICULAR TO WALL FACE.

- MATERIAL LEGEND:**
- FP1 Fiber Cement Panel (White)
  - FP2 Fiber Cement Panel (Grey)
  - CN1 Concrete
  - CN2 Dark Grey Stained Concrete
  - CN3 Phenolic Concrete
  - CN4 Board Formed Concrete
  - MT1 Metal Flashing (White)
  - MT2 Metal Flashing (Grey)
  - WD1 T&G Cedar Wall and Soffit (Natural)
  - AL1 Aluminum Grille Doors - (Grey)
  - VP1 Vinyl Window (White)
  - VP2 Vinyl Window (Grey)
  - GW1 Coarsest Grid (Grey)
  - G1 Aluminum & Glass Quastrol (Grey)
  - GC Coloured Panel



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1 NORTH EAST ELEVATION - PART B  
Scale: 1/8" = 1'-0"

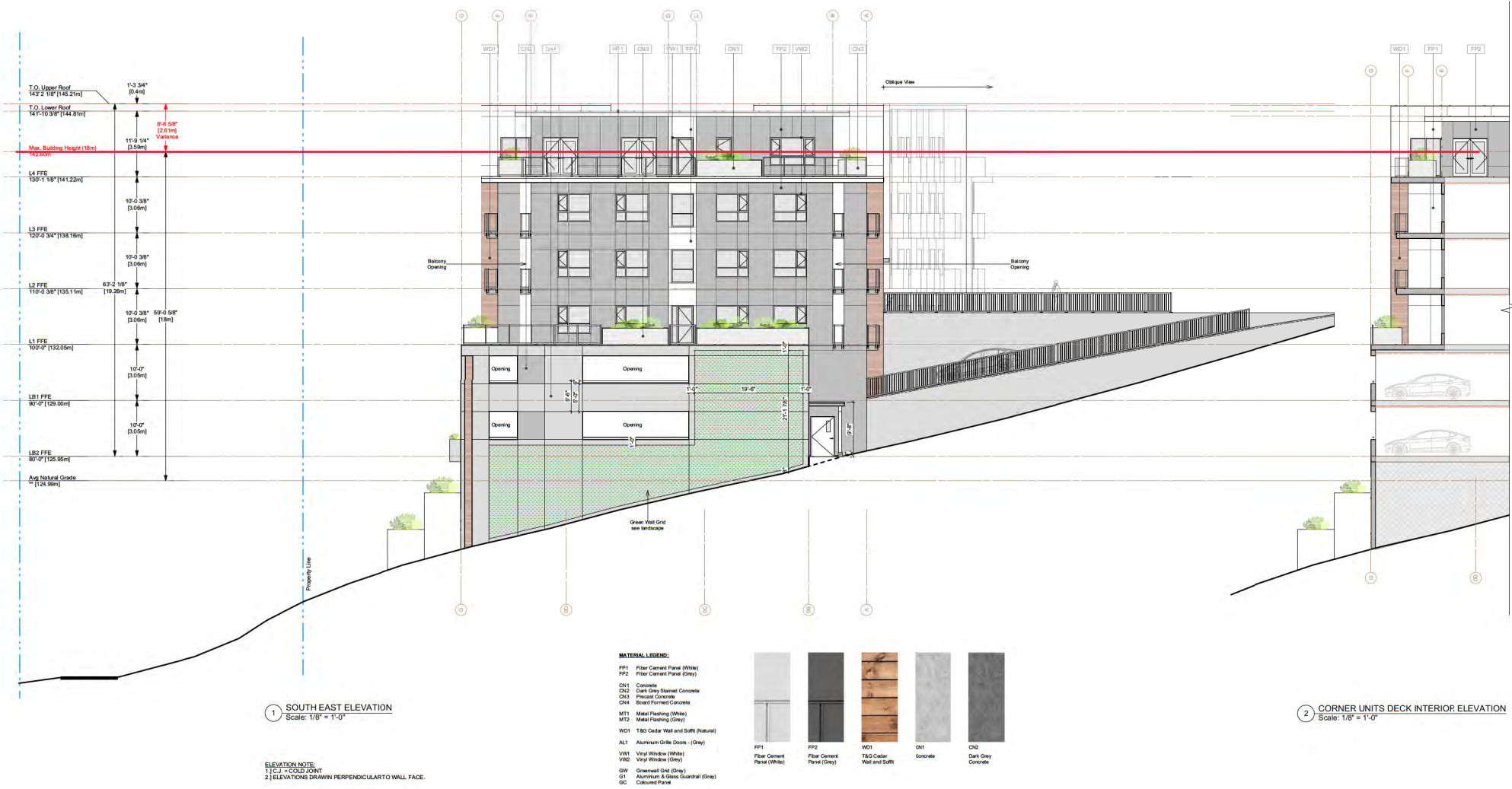
ELEVATION NOTE  
1) C.J. = COLD JOINT  
2) ELEVATIONS DRAWN PERPENDICULAR TO WALL FACE.

**MATERIAL LEGEND:**

- FP1 Fiber Cement Panel (White)
- FP2 Fiber Cement Panel (Grey)
- CN1 Concrete
- CN2 Dark Grey Stained Concrete
- CN3 Phenolic Concrete
- CN4 Board Formed Concrete
- MT1 Metal Flashing (White)
- MT2 Metal Flashing (Grey)
- WD1 T&G Cedar Wall and Soffit (Natural)
- AL1 Aluminum Grille Doors - (Grey)
- VW1 Vinyl Window (White)
- VW2 Vinyl Window (Grey)
- GW1 Gravelled Grid (Grey)
- G1 Aluminum & Glass Quanzial (Grey)
- GC Coloured Panel



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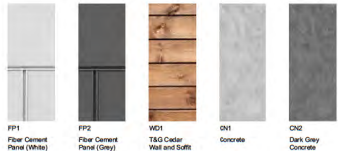


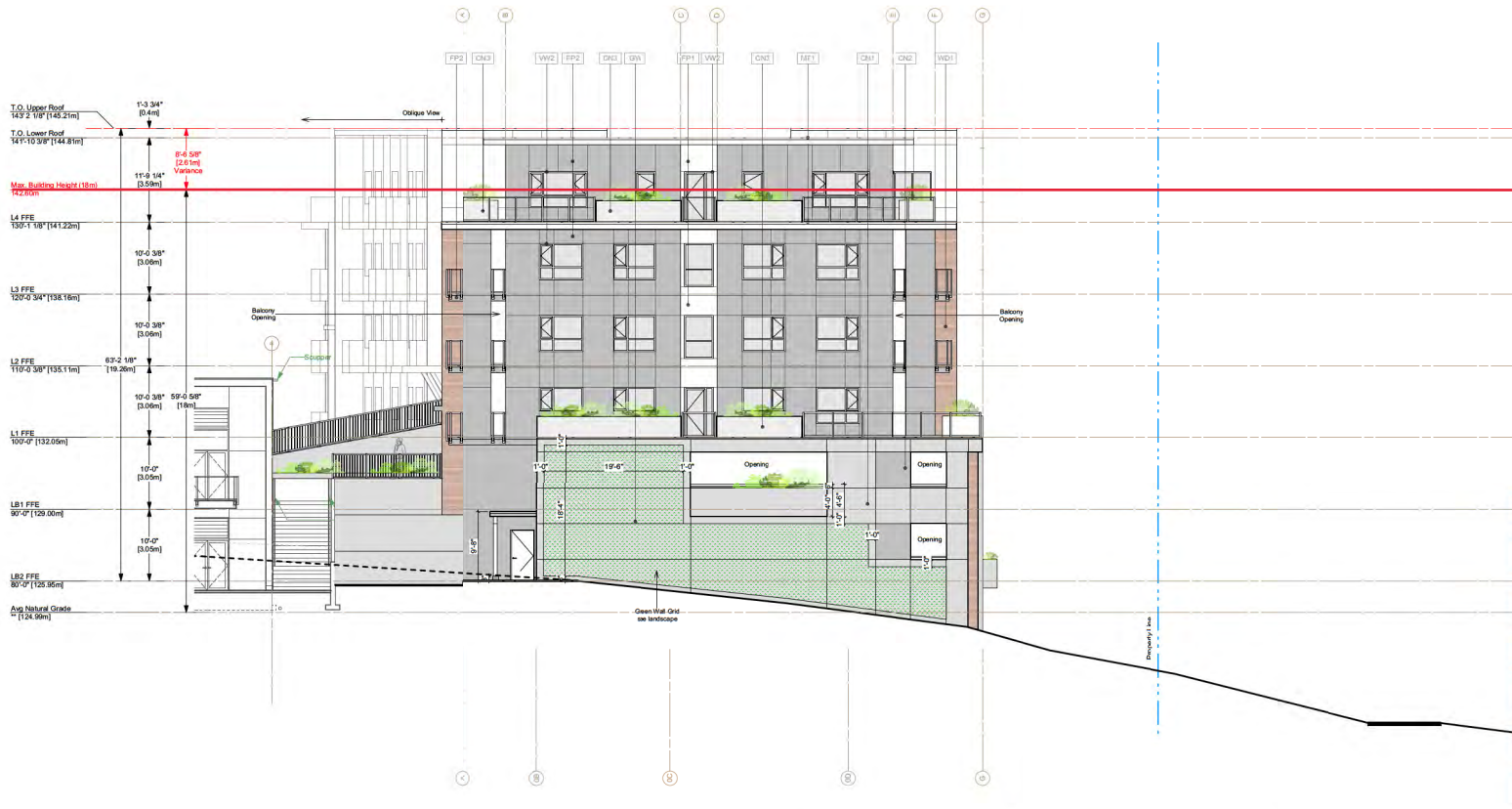
1 SOUTH EAST ELEVATION  
Scale: 1/8" = 1'-0"

2 CORNER UNITS DECK INTERIOR ELEVATION  
Scale: 1/8" = 1'-0"

**MATERIAL LEGEND:**

- FP1 Fiber Cement Panel (White)
- FP2 Fiber Cement Panel (Grey)
- CN1 Concrete
- CN2 Dark Grey Stained Concrete
- CN3 Physical Concrete
- CN4 Board Formed Concrete
- MT1 Metal Flashing (White)
- MT2 Metal Flashing (Grey)
- WD1 T&G Cedar Wall and Soffit (Natural)
- AL1 Aluminum Grille Doors - (Grey)
- VM1 Vinyl Window (White)
- VM2 Vinyl Window (Grey)
- GW Greenwall Grid (Grey)
- G1 Aluminum & Glass Operable (Grey)
- GC Coloured Panel



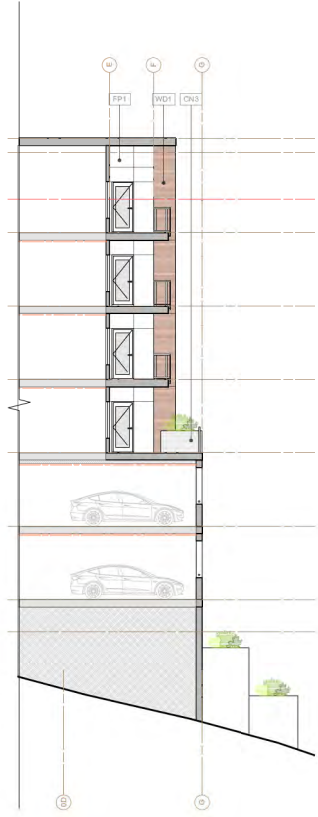
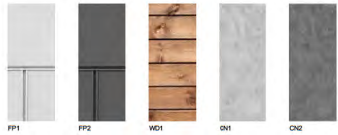


1 NORTH WEST ELEVATION  
Scale: 1/8" = 1'-0"

ELEVATION NOTE:  
1) C.J. = COLD Joints  
2) ELEVATIONS DRAWN PERPENDICULAR TO WALL FACE.

**MATERIAL LEGEND:**

- FP1 Fiber Cement Panel (White)
- FP2 Fiber Cement Panel (Grey)
- CN1 Concrete
- CN2 Dark Grey Stained Concrete
- CN3 Precast Concrete
- CN4 Board Formed Concrete
- MT1 Metal Flashing (White)
- MT2 Metal Flashing (Grey)
- WD1 T&G Cedar Wall and Soffit (Natural)
- AL1 Aluminum Grille Doors - (Grey)
- VW1 Vinyl Window (White)
- VW2 Vinyl Window (Grey)
- GW GreenWall Grid (Grey)
- G1 Aluminum & Glass Guardrail (Grey)
- GC Coloured Panel



2 TYPICAL DECK EXTERIOR ELEVATION  
Scale: 1/8" = 1'-0"



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07-11-20  
2020-01-20  
Curtis J. Phillips





1 SOUTH WEST ELEVATION - PART b  
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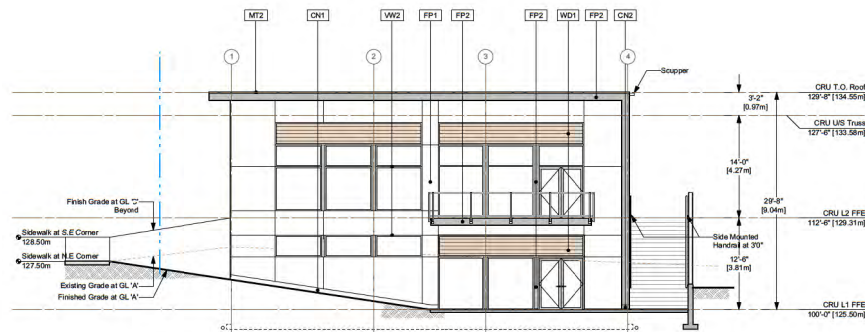
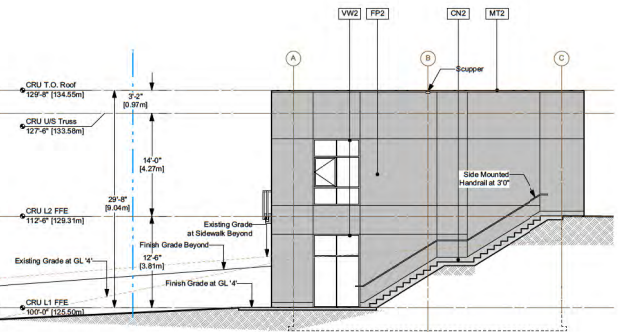
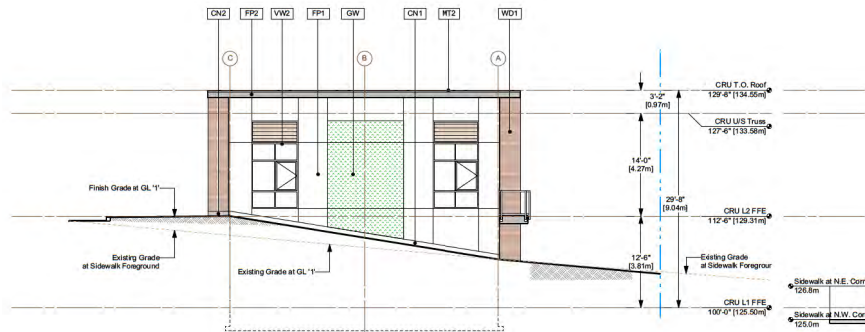
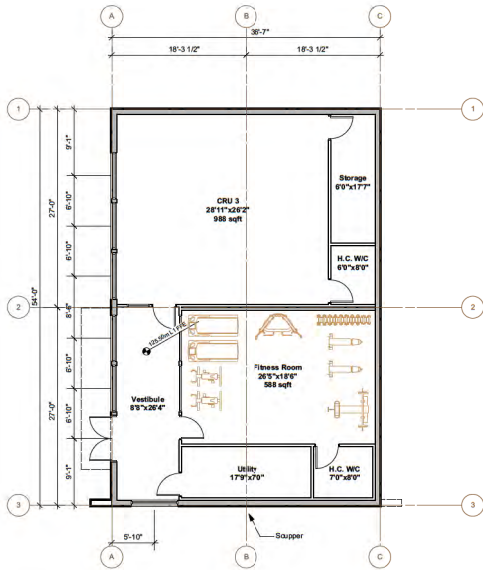
ELEVATION NOTE:  
1] CL = COLD POINT  
2] ELEVATIONS DRAWN PERPENDICULAR TO WALL FACE.

**MATERIAL LEGEND:**

- FP1 Fiber Cement Panel (White)
- FP2 Fiber Cement Panel (Grey)
- CN1 Concrete
- CN2 Dark Grey Stained Concrete
- CN3 Phenolic Concrete
- CN4 Board Formed Concrete
- MT1 Metal Finishing (White)
- MT2 Metal Finishing (Grey)
- WD1 T&G Cedar Wall and Soffit (Natural)
- AL1 Aluminum Grids Doors - (Grey)
- VW1 Vinyl Window (White)
- VW2 Vinyl Window (Grey)
- GW1 Gravelled Grid (Grey)
- G1 Aluminum & Glass Quardrail (Grey)
- GC Coloured Panel

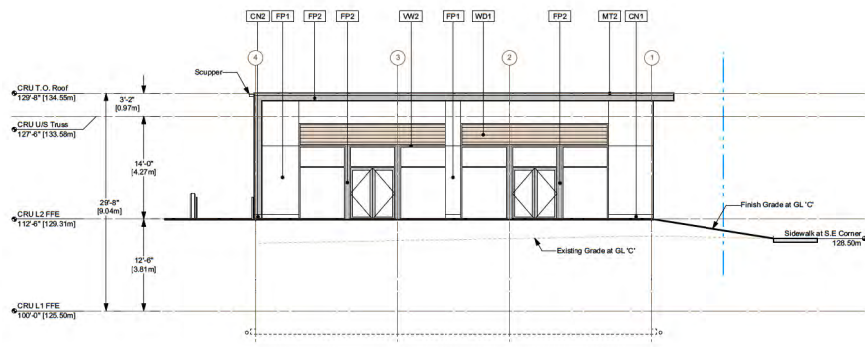
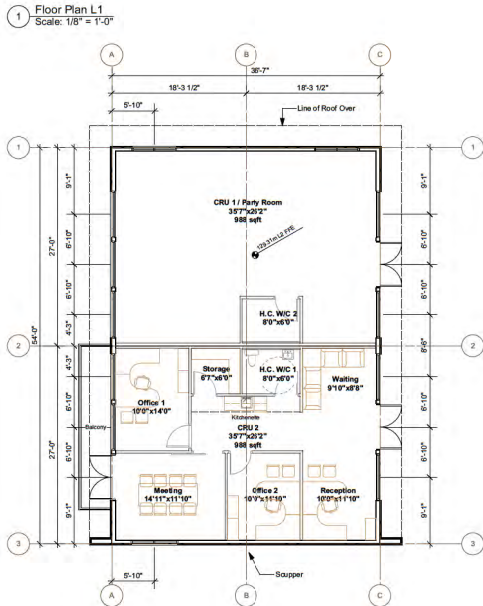






**MATERIAL LEGEND:**

FP1	Fiber Cement Panel (White)	WD1	1&G Cedar Wall and Soffit
FP2	Fiber Cement Panel (Grey)	WT2	Wood Wall and Soffit
CN1	Concrete	WT1	Wood Wall and Soffit
CN2	Dark Grey Stained Concrete	WT2	Wood Wall and Soffit
MT1	Metal Flashing (White, 12")	WT1	Wood Wall and Soffit
MT2	Metal Flashing (Grey, 12")	WT2	Wood Wall and Soffit
WD1	1&G Cedar Wall and Soffit	WT1	Wood Wall and Soffit
WD2	Wood Wall and Soffit	WT2	Wood Wall and Soffit
WT1	Wood Wall and Soffit	WT1	Wood Wall and Soffit
WT2	Wood Wall and Soffit	WT2	Wood Wall and Soffit
GW	Greenwall Grid (Grey)	WT1	Wood Wall and Soffit
G1	Aluminum & Glass Guardrail (Grey)	WT2	Wood Wall and Soffit



**1 Floor Plan L1**  
Scale: 1/8" = 1'-0"

**2 Floor Plan L2**  
Scale: 1/8" = 1'-0"

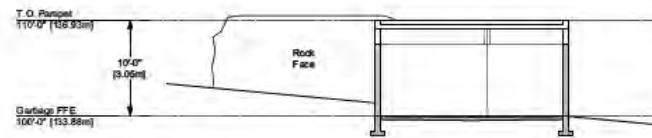
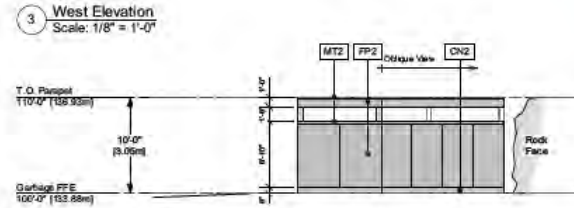
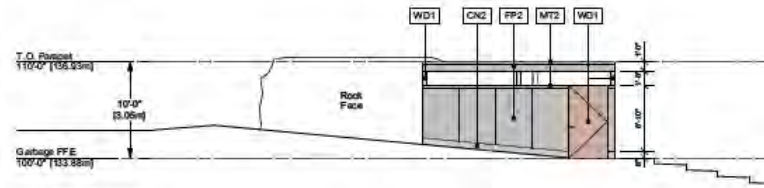
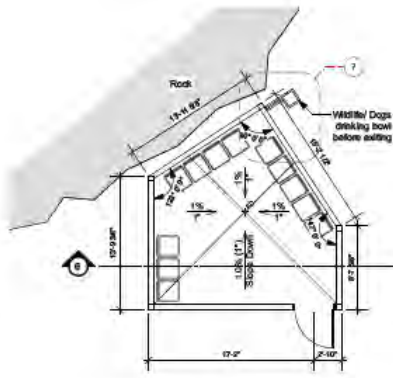
**3 North East Elevation**  
Scale: 1/8" = 1'-0"

**4 North West Elevation**  
Scale: 1/8" = 1'-0"

**5 South East Elevation**  
Scale: 1/8" = 1'-0"

**6 South West Elevation**  
Scale: 1/8" = 1'-0"





**MATERIAL LEGEND:**

- FP2 Fiber Cement Panel (Grey)
- CN2 Dark Grey Shaved Concrete
- MT2 Metal Flashing (Grey)
- WD1 T&G Cedar Wall and Soffit (Natural)



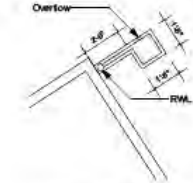
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Fiber Cement Panel (Grey)

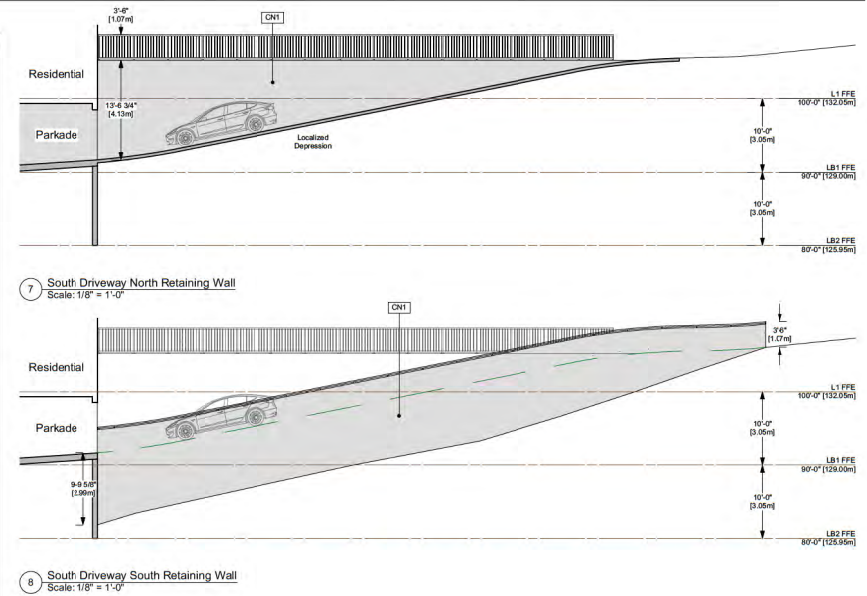
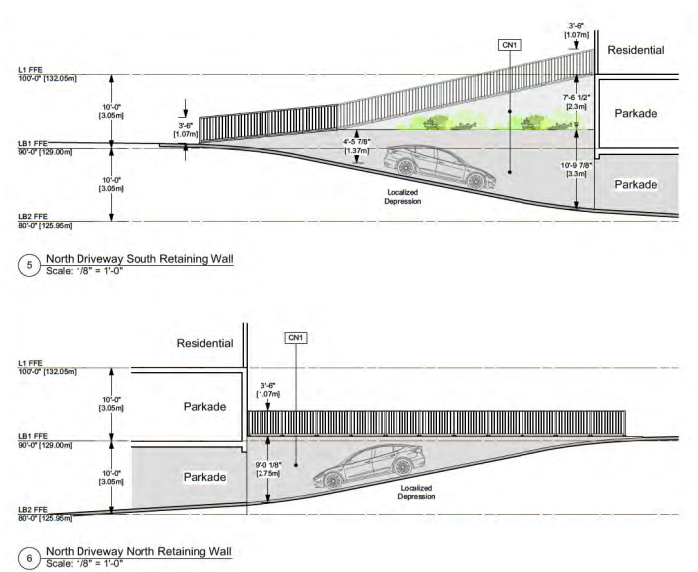
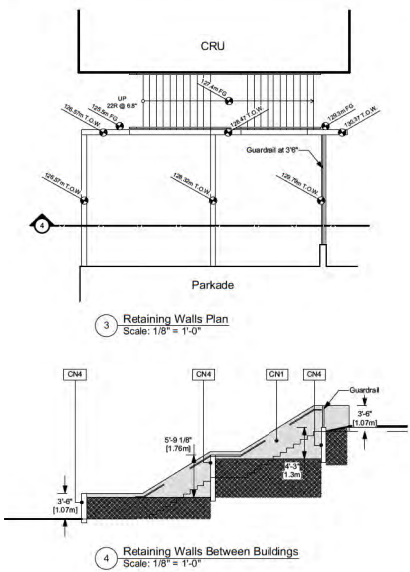
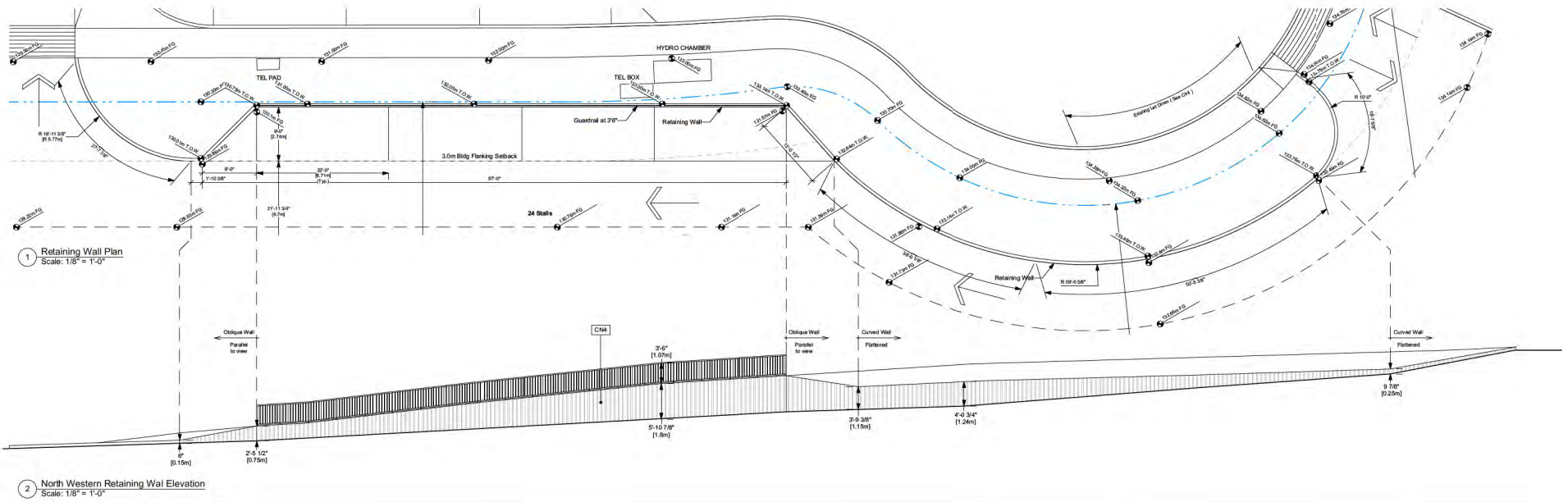


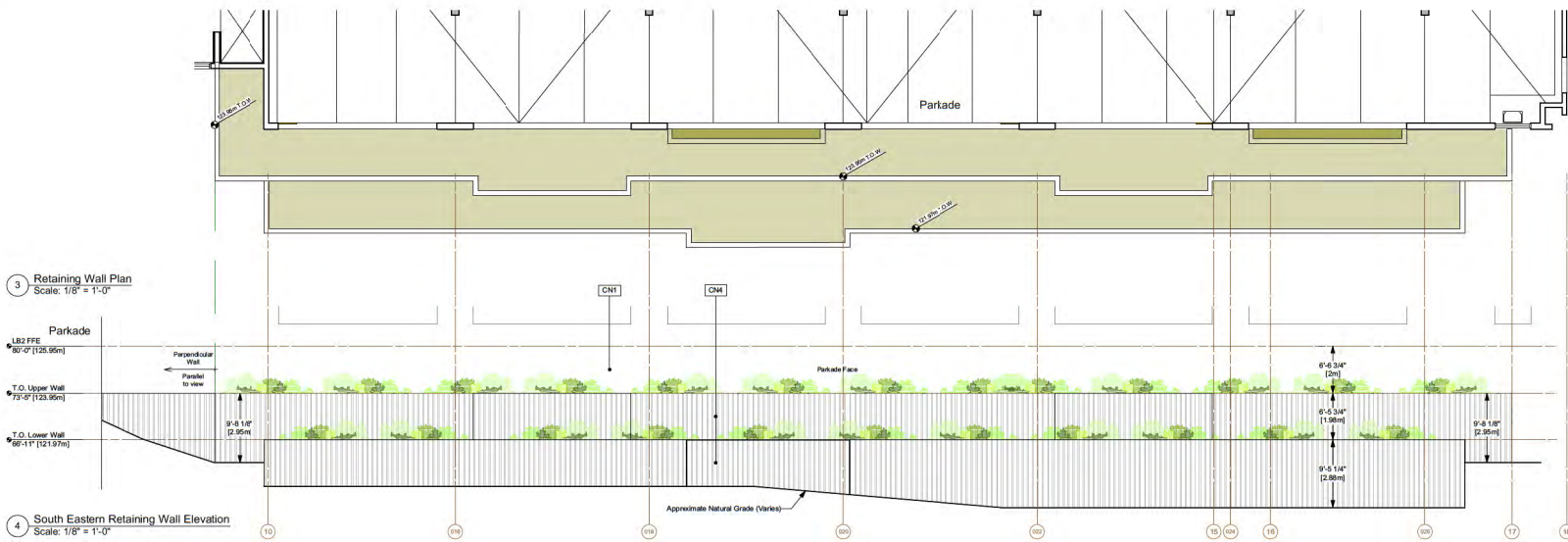
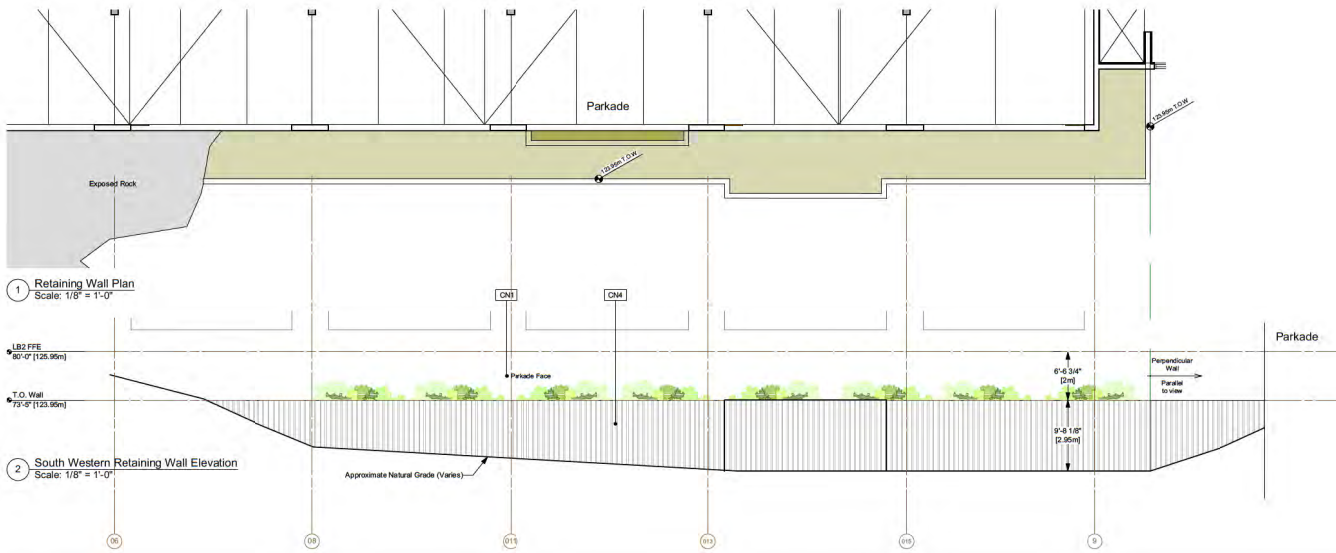
CN2  
Dark Grey Concrete



WD1  
T&G Cedar Wall and Soffit







# ATTACHMENT F BUILDING RENDERINGS



**Owner:**  
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Building Codes & Fire Science  
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Vancouver, B.C. V6C 1T2  
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fv@gva.ca

Drawing No.	Description
A0.0	Cover Sheet, Consultants
A0.1	Context, Streetscape
A0.2	Project Data, Code Summary
A0.3	Perspectives 1
A0.4	Perspectives 2
A1.0	Site Plan, 1:1 Floor Plan
A1.1	LB1 & LB2 Floor Plans
A1.2	L3 - L4 Floor Plans
A1.3	CRU Plans & Elevations
A1.4	Ratifying Walls 1
A1.5	Ratifying Walls 2
A1.6	Garage Entrances
AE.1a	Elevations 1a
AE.1b	Elevations 1b
AE.2	Elevations 2
AE.3	Elevations 3
AE.4a	Elevations 4a
AE.4b	Elevations 4b
AT.1	Sections

1 Consultants List

**RdB** Raymond de Beeld  
ARCHITECT INC.

**Cedar Ridge Mixed Use**

4851 Cedar Ridge Place, Nanaimo, BC

Cover Page, Consultants

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OCT 19 2020  
CURTIS PUBLISHING



Rev. 02 - Oct. 19, 2020

**A0.0**



1 View from up on Rutherford



2 East Bird's Eye



3 South Bird's Eye



4 West Bird's Eye



1 Pedestrian view from Rutherford Road



2 Entrance Canopy



3 CRU Building access from Rutherford



4 CRU Building access from Cedar Ridge

# ATTACHMENT G LANDSCAPE PLAN AND DETAILS

## CEDAR RIDGE MIXED USE - - - - - LANDSCAPE CONCEPT - - - - - 4851 CEDAR RIDGE PLACE, NANAIMO, BC

### ZONE 1a RUTHERFORD ROAD lower

- Large boulders
- Dense plantings of coniferous trees
- Indigenous shrubs and groundcovers
- Vines on building to green the walls

### ZONE 1b RUTHERFORD ROAD upper

- Groves of deciduous trees and grass
- Large boulders to provide seating / sculptural elements
- Transition to plaza on corner- invitation into site

### ZONE 2 CEDAR RIDGE PLACE STREETSCAPE

- Groups of coniferous and deciduous trees in grass

### ZONE 3 NORTH GARDENS

- Boulders
- Indigenous plants screen private spaces
- Coniferous and evergreen and deciduous plants
- Bioswale
- Berches, paths, seating boulders

### ZONE 4 EAST BUFFER

- Dog run
- Switchback trail to Lake
- Indigenous trees and groundcovers

### ZONE 5 SOUTH BUFFER

- Bioswales filter water to existing rocky gullies
- Indigenous planting where terrain allows
- Climbing and cascading plants green the walls

NOTES:  
For grading information, see Civil drawings.

ALL EXISTING TREES WITHIN PROPERTY LINE TO BE REMOVED



REVISIONS:

#1 - 28.05.20 - CAD file
#2 - 28.05.20
#3 - 07.08.20 - MAIN ENTRY
#4 - 19.10.20 - COMPREHENSIVE LTR



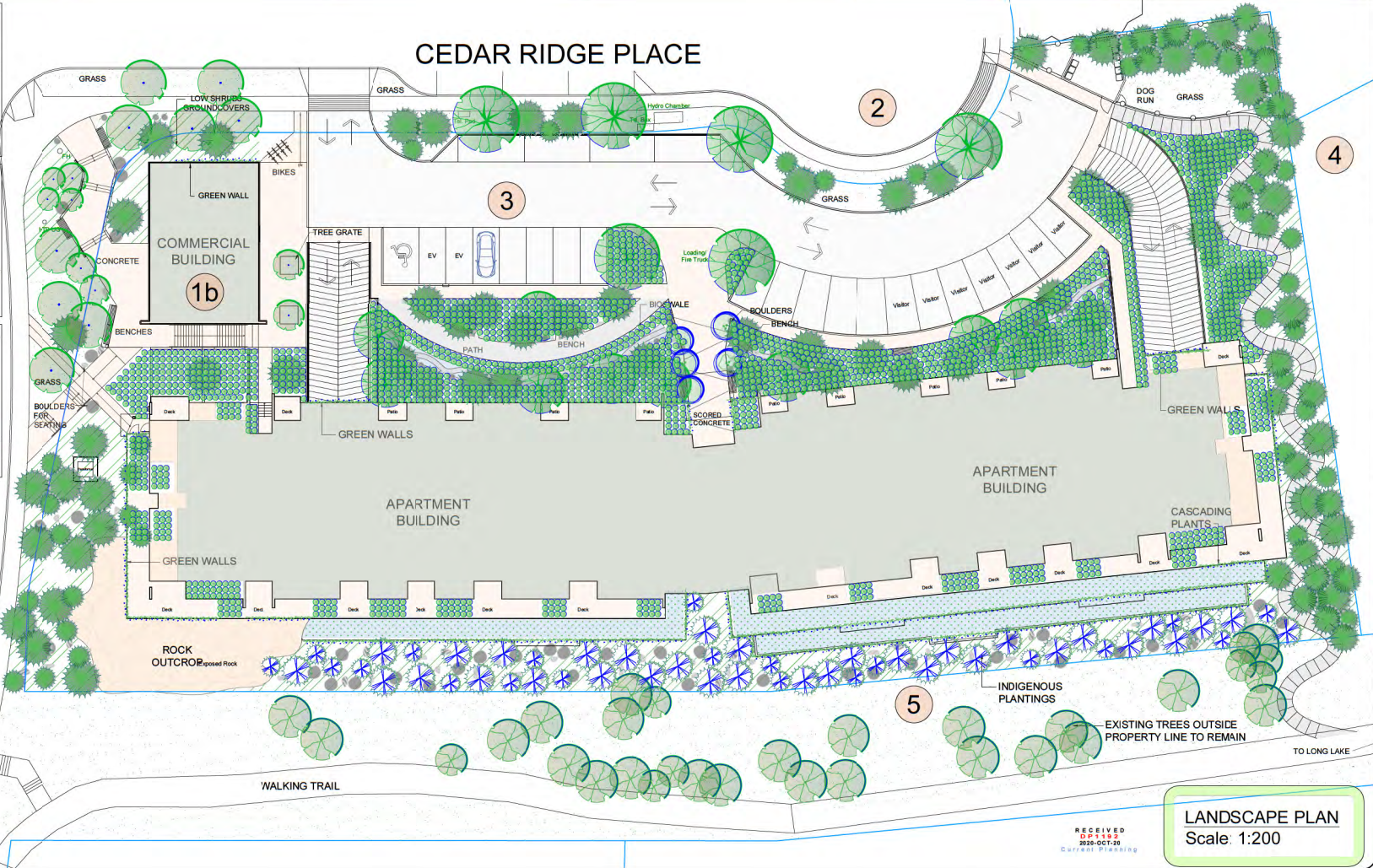
PROJECT:  
**4851  
CEDAR RIDGE PL  
NANAIMO, BC**

SITE LEGAL DESCRIPTION:  
Lot 1, District Lot 17,  
Wellington District, Plan 32491,  
Except Part in Plans 37954,  
VIP62511 and VIP 64055  
PID No. 000-153-087

SHEET TITLE  
**CONCEPTUAL  
LANDSCAPE  
PLAN**

SCALE: AS NOTED DATE: APR. 8, 2020  
DRAWN: DR CHECKED: VJD

PROJECT NUMBER:  
4851 CEDAR RIDGE PL 2020  
DRAWING NUMBER:  
**L0.1 - DP**



**LANDSCAPE PLAN**  
Scale: 1:200





**CEDAR RIDGE MIXED USE ----- DESIGN ELEMENTS ----- 4851 CEDAR RIDGE PLACE, NANAIMO, BC**

**Design rationale**

The landscape design is inspired by the undisturbed portion of the site. This existing, comparatively undisturbed landscape consists of second growth east coast Douglas fir growing with arbutus on rocky terrain. The knolls are covered with moss and licorice fern with Nootka rose, snowberry, ocean spray and Oregon grape growing in the small gullies where water finds its way in between the exposed rock outcrops.

The intent of the landscape scheme is to mimic this natural vegetation as much as possible. On the south side the bioswales will collect the roof water and spill it over onto the rocky bluff where new indigenous plantings will benefit from the moisture as well as the existing trees and shrubs to the south of the property.

On the north side the plantings are designed to be nestled into large boulders (retained from the site), providing privacy to the lower floor outdoor living space. These woodland gardens will incorporate bioswales to filter and slow down the runoff from the parking areas.

The two streetscapes reflect this character of a rocky, evergreen landscape. Approaching the building from the South west, the large walls will be reduced in scale by greening with vines. Boulders walls clustered at the base of the building will be planted with dense planting of conifers. This not only screens the walls but replicates the existing evergreen landscape. An urban plaza opens up the corner of Rutherford and Cedar Ridge Place, with clusters of deciduous trees set in grass and boulders, allowing views into the commercial building. Cedar Ridge Place streetscape will have clusters of evergreen and deciduous trees in grass.

The forest to the east will be replanted, with a dog run on the more level area at the top of the slope. A switchback path will lead down to the existing lake trail.



Douglas Fir - Arbutus - Ocean Spray - on south facing slopes



Entrance & urban plaza

**Plant Palette**

The plants in this scheme will be selected from the following list. Not all plants will necessarily be used and Others may be selected depending on availability at the time of planting.

Botanical Name	Common Name	Pot Size	Remarks
<b>Evergreen Trees</b>			
Abies grandis	Grand Fir		sizes vary with terrain**
Arbutus menziesii	Arbutus	2 gall	
Pinus contorta contorta	Shore Pine	1.5m ht	
Pinus flexilis vanderwolf	Vanderwolf Pine	1.5m ht	
Pseudotsuga menziesii	Douglas Fir		sizes vary with terrain**
Taxus brevifolia	Western Yew	5 gall	
<b>Deciduous Trees</b>			
Acer circinatum	Vine Maple	10 gall	
Acer macrophyllum	Big-leaf Maple	10 gall	
Acer palmatum	Japanese maple	2.5m ht	
Cornus edulis White Wonder	Eddies White Wonder Dogwood	6 cm cal	
Prunus emarginata	Bitter Cherry	5 gall	
Styrax japonica	Snowbell Tree	6 cm cal	
<b>Evergreen Shrubs</b>			
Gaultheria shallon	Salal	1 gall	
Mahonia aquifolium	Tall Oregon Grape	1 gall	
Mahonia nervosa	Dull Oregon Grape	1 gall	
Vaccinium ovatum	Evergreen Huckleberry	1 gall	
<b>Deciduous Shrubs</b>			
Cornus sericea	Red Osier Dogwood	1 gall	
Holodiscus discolor	Ocean Spray	1 gall	
Oemleria cerasiformis	Indian Plum	1 gall	
Ribes sanguineum	Red Flowering Currant	1 gall	
Rosa nutkana	Nootka Rose	1 gall	
Symphoricarpos albes	Snowberry	1 gall	
Vaccinium parvifolium	Red Huckleberry	1 gall	
<b>Ground Cover</b>			
Arctostaphylos uva-ursi	Kinnikinnick	4" pot	
<b>Vines</b>			
Lonicera ciliosa	Western Trumpet Honeysuckle	1 gall	
Lonicera hispidula	Hairy Honeysuckle	1 gall	
Parthenocissus quinquefolia	Virginia Creeper	1 gall	
Parthenocissus tricuspidata	Boston Ivy	1 gall	
<b>Ferns</b>			
Blechnum spicant	Deer Fern	1 gall	
Dryopteris expansa	Spiry Wood Fern	1 gall	
Polypodium glycyrrhiza	Licorice Fern	1 gall	
Polystichum munitum	Sword Fern	1 gall	
<b>Bioswale Plants</b>			
Aquilegia formosa	Red columbine	4" pot	
Aruncus sylvestris	Goat's Beard	1 gall	
Carex obovata	Slough Sedge	plugs	
Carex rostrata	Beaked Sedge	plugs	
Iris missouriensis	Western Blue Flag Iris	1 gall	
Juncus effusus	Common Rush	plugs	
Myrica gale	Sweet Gale	1 gall	
Scirpus microcarpus	Small-flowered Bulrush	plugs	
Sidalcea hendersonii	Henderson's Checker-mallow	4" pot	
<b>Perennials</b>			
Achylis triphylla	Vanilla Leaf	4" pot	
Armeria maritima	Thrift	4" pot	
Aster douglasii	Douglas' Aster	4" pot	
Dicentra formosa	Bleeding Heart	4" pot	
Dodecatheon hendersonii	Broad-leaved Shooting Star	4" pot	
Erigeron speciosus	Showy Fleabane	4" pot	

\*\* The size of conifers will vary with terrain. Where there are soil pockets 2-5-gallon trees will be planted. In the very rocky 1 gallon trees will be planted.

NOTES:  
For grading information, see Civil drawings.

**ALL EXISTING TREES WITHIN PROPERTY LINE TO BE REMOVED**

**REVISIONS:**

- #1 - 28.05.20 - CAD file
- #2 - 28.05.20
- #3 - 07.08.20 - MAIN ENTRY
- #4 - 19.10.20 - COMPREHENSIVE LTR

**CONSULTANT:**



**PROJECT:**

**4851 CEDAR RIDGE PL NANAIMO, BC**

**SITE LEGAL DESCRIPTION:**

Lot 1, District Lot 17, Wellington District, Plan 32491, Except Part in Plans 37954, VIP62511 and VIP 64055 PID No. 000-153-087

**SHEET TITLE**

**DESIGN ELEMENTS**

SCALE: AS NOTED DATE: APR. 8, 2020  
DRAWN: DR CHECKED: VJD

PROJECT NUMBER: 4851 CEDAR RIDGE PL 2020  
DRAWING NUMBER:

**L0.2 - DP**



Rock outcrops



North gardens



Mossy knolls with Nootka rose & Licorice fern



Green walls



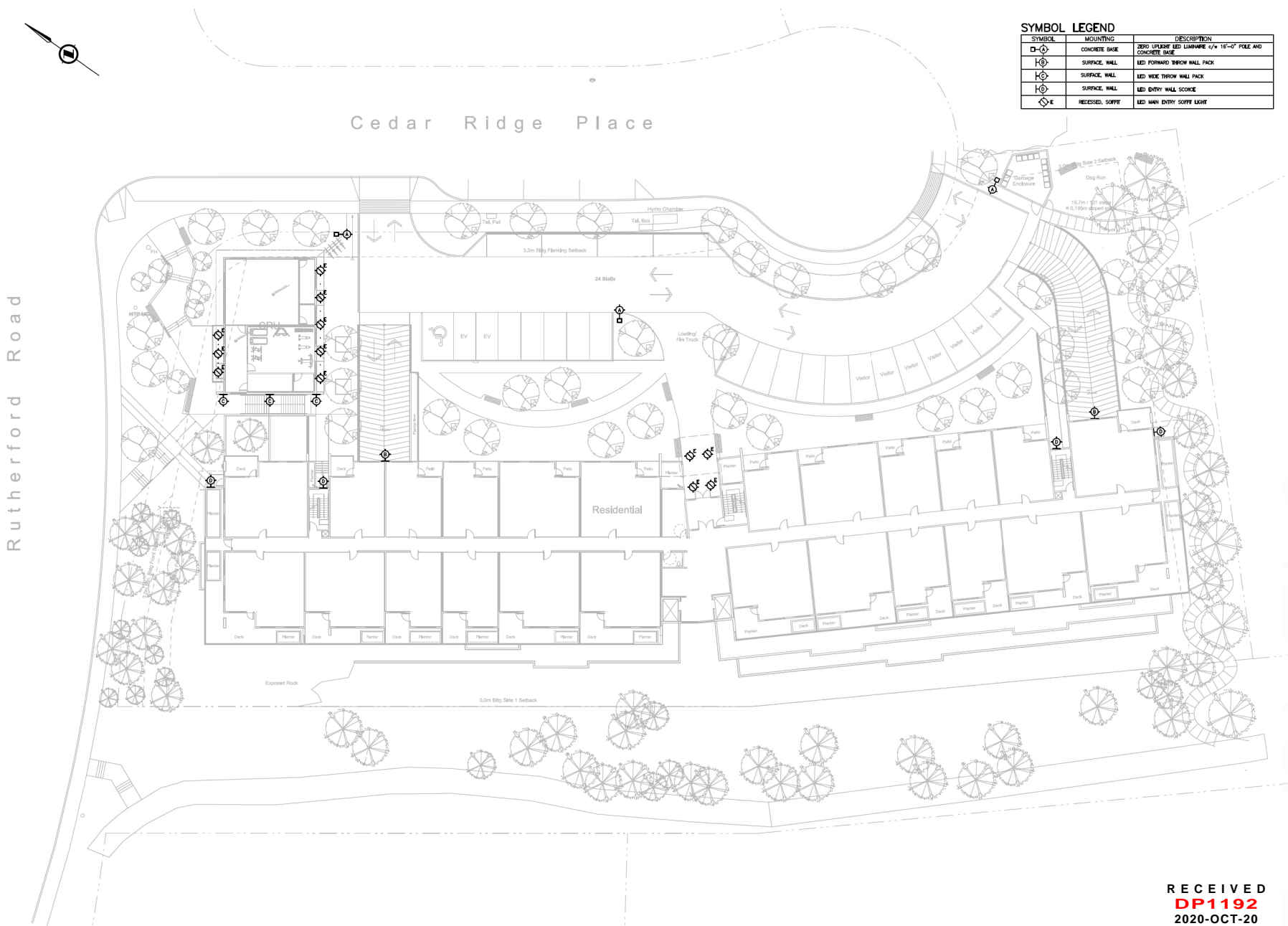
Bioswales

**DESIGN ELEMENTS**



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**SITE LIGHTING**



**SYMBOL LEGEND**

SYMBOL	MOUNTING	DESCRIPTION
⊠	CONCRETE BASE	2000 UPSTART LED LUMINAIRE 4" x 16"-0" POLE AND CONCRETE BASE
⊡	SURFACE, WALL	LED FORWARD THROW WALL PACK
⊢	SURFACE, WALL	LED WIDE THROW WALL PACK
⊣	SURFACE, WALL	LED ENTRY WALL SCORPE
⊤	RECESSED, SOWFF	LED MAIN ENTRY SOWFF LIGHT

NO.	DATE	TITLE	REVISION
2	OCT 18 2020	ISSUED FOR DEVELOPMENT PERMIT	
1	OCT 15 2020	ISSUED FOR REVIEW	

**KB ENGINEERING LTD**  
 ENGINEERING CONSULTING ARCHITECTS  
 #1188 NORFOLK ROAD TEL: 250-764-4444  
 NANAIMO, BC V9S 3B9 KBEENGINEERING.CA

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CLIENT

**WESTMARK CONSTRUCTION LTD**

PROJECT

**CEDAR RIDGE PLACE RESIDENTIAL BUILDING**  
 4851 CEDAR RIDGE PL  
 NANAIMO, BC

TITLE

**SITE PLAN LIGHTING DEVELOPMENT PERMIT LAYOUT**

PROJECT NO: 20-3383	SEAL
DATE OCTOBER, 2020	
SCALE 1:200	

DRAWING NO.

**E-DP**

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 Current Planning

ATTACHMENT H  
AERIAL PHOTO



**DEVELOPMENT PERMIT NO. DP001192**

 4851 CEDAR RIDGE PLACE